

Initial Heritage Appraisal

Northern Gateway (GMA 1.2)

September 2020

Introduction

1. This Initial Heritage Appraisal has been prepared by Turley Heritage on behalf of Northern Gateway Development Vehicle LLP (Manchester). The purpose of the Appraisal is to provide initial heritage advice on considerations associated with promotion of land at Northern Gateway Site GMA 1.2 (the 'Site') through the Greater Manchester Strategic Framework.
2. This Appraisal is based upon desk based assessment of the Site and surrounding area and a site visit undertaken on 13 August 2020. It identifies the relevant heritage assets with the potential to be affected by future development, and provides a broad assessment of their significance and setting. It concludes by identifying key heritage considerations and provides recommendations to be addressed in developing proposals for the Site.
3. The Appraisal addresses above ground heritage assets. Below ground archaeology is dealt with separately by White Young Green ('Northern Gateway Area GMA 1.2 Archaeology and Heritage' 2020).
4. The Site includes land within Bury Council and Rochdale Borough Council areas.

The Site

5. The Site (Figure 1) consists of an irregular area of agricultural land. To the south west is the M60, and to the south is the settlement of Rhodes. The north and east boundaries are defined by field boundaries. Beyond the northern boundary of the Site is the small settlement of Simister. More broadly, beyond the M60 to the west is Prestwich, Heaton Park and the city of Manchester. To the north is open agricultural land and the M62 and to the east is further agricultural land, and beyond the settlement of Langley.

6. To the north of the site, on the opposite side of the M62, is Northern Gateway site GMA1.1.
7. The Site is largely agricultural in character, with a number of dispersed farmsteads. The east side of the Site is bisected by the A6045 Heywood Old Road which is lined by a number of residential properties and farmsteads. With the exception of these developed areas, the site is in use as grazing land and divided into fields by boundaries comprising hedgerows, fencing and trees. The topography of the site is undulating and varied.

Figure 1: Site Location (Approximate position of Site identified)



History and Development of the Site and Surrounding Area

8. All Figure references refer to Appendix 1.
9. The Tithe Map for the site dating to 1846 is at Figure 1.1. A review of the associated apportionments indicates that much of the land in the southern part of the Site was at that time, in the ownership of The Right Honourable Earl of Wilton, who also owned Heaton Park, though the land was tenanted by others and in

agricultural use. The landscaped parkland of Heaton Park is legible on the 1846 Tithe Map (Figure 1.1) and 1848 OS map at Figure 1.2 and did not extend into the Site.

10. During the mid-19th century (Figure 1.1 and 1.2) the Site was in agricultural use, with dispersed farmsteads and dwellings. The area is identified on the 1852 OS Map as ‘Little Heaton’. By this time Simister to the north was established and a number of small dwellings and farmsteads were positioned along this route.
11. By 1896 (Figure 1.2) the Site largely remained in agricultural use. Some growth in development in the surrounding area is legible, particularly on Simister Lane and within Rhodes to the south. This pattern of growth in the surrounding area continued into the 20th century, with the 1947 (Figure 1.4) and 1965 (Figure 1.5) OS Maps showing a similar pattern of expanding development at Simister, as well as outside the Site at Rhodes, Middleton and Prestwich.
12. The M60 was opened in the early 1960s and the M62 in the 1970s. The road infrastructure resulted in a significant influence on the site and surrounding area and separated it from the urban area of Manchester to the south and west.

Relevant Heritage Assets

Designated Heritage Assets

13. Designated heritage assets are those which possess a level of heritage interest that justifies designation and are then subject to particular procedures in planning decisions that involve them.
14. There are no designated heritage assets within the Site. There are two designated heritage assets outside the Site boundary with the potential to be affected by development within their setting:

Heritage Asset	Asset type	Grade
Church of St George	Listed Building	II
Heaton Park	Registered Park and Garden	II

15. Three listed buildings (Church of All Saints War Memorial, 31-37 Broad Street, and Rhodes Schools, east (listed at grade II) are located within Rhodes, to the south of the Site. Whilst proximate to the Site, these assets are located within an urban context and due to their location, and the intervening development and topography they have no visual connection to the Site. There is also no known functional connection. For these reasons it is not considered that the development of the site would impact upon their significance and they are not considered further with this Appraisal.

Non-designated Heritage Assets

16. Paragraph 039 of Planning Practice Guidance (PPG) defines a non-designated heritage asset as '*buildings, monuments, sites, places, areas or landscapes identified by plan-making bodies as having a degree of heritage significance meriting consideration in planning decisions but which do not meet the criteria for designated heritage assets*'.
17. Rochdale MBC does not have a published list of locally listed buildings.
18. Bury Council consulted on a draft 'Local List of Buildings of Special Architectural or Historic Interest' during 2019. There are no buildings within the Site on the draft list, however Lady Wilton School to the north of the Site is identified and is also recorded on the Greater Manchester Historic Environment Record (HER).
19. A search of the HER was carried out by White Young Green in July 2020. The results have been reviewed to identify built assets either within or close to the site which have the potential to be affected by development at the Site. These are identified in the table at Appendix 2.
20. In addition to the assets identified at Appendix 2, a number of other buildings or structures have been identified by Salford Archaeology within the 'Historic Environment Assessment Screening Exercise GMA1 Northern Gateway'. These buildings or structures are not on the HER and have not been formally identified as non-designated heritage assets.

21. Should any of these buildings or structures be identified as non-designated heritage assets in the future, the effect of development on their significance would need to be proportionately addressed in accordance with Paragraph 197 of the NPPF would be engaged which states: *'the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset'*.

Significance of Designated Heritage Assets

Church of St George (Grade II listed Building)

Architectural and Historic Interest

22. The Church of St George was constructed in 1914-1915 by R Basnett Preson. It is of interest an early 20th century parish church. It is somewhat unusual for its small scale and lack of tower or spire. The Historic England list description identifies that it is a *'small but fine quality church in an unusual austere, but very successful combination of Romanesque and vernacular styles, its austerity perhaps reflecting that it was begun and completed during the First World War.*
23. It is constructed in random rubble stone with ashlar dressings and slate roofs with stone topped gables and finials. Its Romanesque style includes buttresses, corbels and single and paired round arched windows. It comprises a chancel and nave in one, north transept and vestry and north west projecting porch.

Contribution of Setting to significance

24. The church is located within a small confined churchyard which extends west from Nutt Lane. This is largely grassed with a hard surfaced footpath providing access to the south and east entrances. To the north and east the church is tightly enclosed by the fenced boundaries of modern residential buildings. To the west is Nutt Lane. To the south is a dense line of mature trees and beyond this is area of open green space and a large residential dwelling with agricultural land beyond.

25. The enclosure of the church by residential dwellings and trees results in a confined character, and it is therefore only experienced in close proximity as part of the settlement of Simister. Due to its low roofline it is not visible in the wider area.
26. The church is located approximately 300m to the north of the Site. Whilst the Site comprises part of the landscape to the south of the Church there is no visual connection between the two and no known functional connection. It is not considered that the Site makes a contribution to the significance of the church.

Heaton Park (Grade II Registered Park and Garden)

History and Development, and Character, appearance and landscape interest

27. Heaton Park was acquired by marriage by the Egertons, later the Earls of Wilton in 1684. The park was redesigned during the 18th century by William Emes (1729-1803) and John Webb (1754-1828) and it was acquired by Manchester Corporation in 1902 for use as a municipal park.
28. The principal building is Heaton Hall, listed at grade I and designed by James Wyatt for Sir Thomas Edgerton. It is considered by Pevsner the finest of its type in the region¹. It is situated at the centre of the park and faces south-east towards the city of Manchester. To the north west is a stable block and home farm.
29. There are six main access routes to the park, four with lodges. The principal entrance is at Sheepfoot Lane/Bury Old Road and a secondary entrance is at Heaton Gates on Middleton Road. Additional entrances are found at Smithy Lodge, and St Margaret's Road.
30. The gardens and pleasure grounds consist of a terrace, laid with formal beds and bowling greens to the frontage of the hall, and grassed area to the north and west, enclosed by a ha-ha. To the north beyond the hall the land rises steeply to a neo-classical temple at the highest point of the park. The grade II* listed temple was designed by Samuel Wyatt (1795-1802). More broadly, the park contains tree plantations, lakes, kitchen gardens and avenues. A former horse racing course is

¹ Clare Hartwell (2001) Pevsner Architectural Guides: Manchester

now a boating lake. To the north side of the hall is former deer park, though now in use as a golf course, and a large reservoir is located to the north west.

Contribution of Setting to Significance

31. The setting of the park has changed fundamentally since it was originally laid out and it is now almost entirely enclosed by the urban areas of Prestwich, Blackley and Middleton. To the north west is the M60 motorway.
32. From within the designed landscape, views to the wider area are largely restricted by topography and trees. Whilst the urban settlements of Prestwich and Blackley are close to the boundaries, due to the density of trees which enclose the area and topography there is very limited visibility between the urban area and the Park. The entrances, lodges and estate walls however provide an appreciation of proximity between the Park and urban areas and the connection between them.
33. From the high point around Heaton Hall and the temple, long distance views are available to the south towards Manchester City centre where the towers in the urban core are visible. Views to the north are however limited by the density of trees in the central part of the estate. Views from the northern part of the estate (now the golf course) are available into the land to the north, but these are filtered by the varying topography and trees, and the M60 which forms a significant visual barrier in the landscape.
34. The Site is located to the north of the Park. As agricultural land it contrasts with much of the urban townscape which surrounds the estate, however it is functionally and visually separated from much of the designated area by the M60 motorway and the dense trees within the northern part of the park. None of the principal site accesses approach the Park through or in the vicinity of the Site.
35. An historic association exists between the Site and Heaton Park due to much of the Site being in the ownership of the estate during the 19th century, as demonstrated by the 1846 Tithe Map at Figure 1.1. Legibility of this association has however been eroded by the development of the M60 which has visually and physically bisected the Park from the land to the north, and change within the park including the development of the golf course on the former deer park. The

association is not therefore physically appreciable on Site and is legible only from historic estate maps and documents.

Significance of Non- Designated Heritage Assets

36. Appendix 2 provides a summary of the significance of the non-designated heritage assets located within the Site, or proximate to the Site and with the potential to be affected by development.

Legislation and Policy

37. Section s66(1) of The Planning (Listed Buildings and Conservation Areas) Act 1990 states:

'In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.'

38. Paragraph 192 of the NPPF states that in determining planning applications, local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets, putting them into viable uses consistent with their conservation, as well as the desirability of new development making a positive contribution to local character and distinctiveness.
39. Paragraph 193 requires when considering the impact of a development on the significance of a designated heritage asset that great weight should be given to the asset's conservation. 'Conservation' is defined by the NPPF as *'the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.'*
40. Paragraphs 195 and 196 differentiate between 'substantial' and 'less than substantial harm' and provide a framework for the consideration of harm to the significance of designated heritage assets where it arises, bearing in mind the

considerable importance and weight that must be given to the statutory duties of the 1990 Act.

41. Paragraph 197 sets out that *'the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset'*.
42. Paragraph 200 requires local planning authorities look for opportunities for new development within the setting of heritage assets to better reveal their significance. It states that proposals that preserve those elements of setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

Heritage Considerations

43. The below has been based on a review of the emerging high level Northern Gateway Development Framework Plan. The heritage considerations and recommendations will inform and guide the future development and evolution of the masterplan and future planning work at the Northern Gateway 1.1 site.
44. The development of the Site will result in change within the wider setting of the grade II listed Church of St George, in Simister, but will be located approximately 300m from the church at its closest point. Any views of the development would therefore be at a significant distance and due to the dense trees which enclose the Church it is likely that any views would be heavily filtered. Consideration should be given to the potential for an area of planting to the north west corner of the development to further reduce visual impact. It is not therefore considered that development of the Site would affect the significance of the Church of St George.
45. The development of the Site will result in change in the wider setting of Heaton Park. This will not be visible from the central formal part of the estate, but will be visible in filtered views from the former deer park, now golf course. The legibility of the area as a deer park and its connection to Heaton Park has been eroded by

the creation of the golf course and the substantial tree belt which separates the two. The Site has a historic connection Heaton Park as a result of a historic shared ownership and functional association, with the Site formerly being owned by the estate, and tenanted. The legibility of this connection has however been eroded due to the later separation of ownership, the severing effect of the M60, and the change to the northern part of the park, such that the site now makes no contribution to the Park. In developing the Site with buildings and infrastructure, land which was formerly in the ownership of Heaton Park will now be developed, however for the reasons set out above, it is not considered that this would affect the significance of Heaton Park.

46. In relation to non-designated heritage assets, development will be visible from Bowlee and Rhodes Green. Change within the setting of Sand Field Farm will also occur, but this will be at a considerable distance (750M). Measures to minimise or mitigate impacts on non-designated heritage assets could include increasing the buffer between them and the proposed development blocks, consideration of the use of landscaping or tree planting to screen views, or the bespoke design of buildings in proximity to the non-designated heritage assets, for example including consideration of building height/colour.
47. In conclusion, based on our initial heritage assessment, we have identified that the development of the Site will not impact upon the significance of the Church of St George or Heaton Park. We have identified potential heritage considerations to be addressed in relation to non-designated assets located within the Site. A series of measures to be incorporated into eventual development proposals which could mitigate or minimise impacts and allow the development of the Site to be delivered have been recommended.

Appendix 1: Historic Mapping

Figure 1.1 Tithe Map (1846) (Approximate position of Site identified)

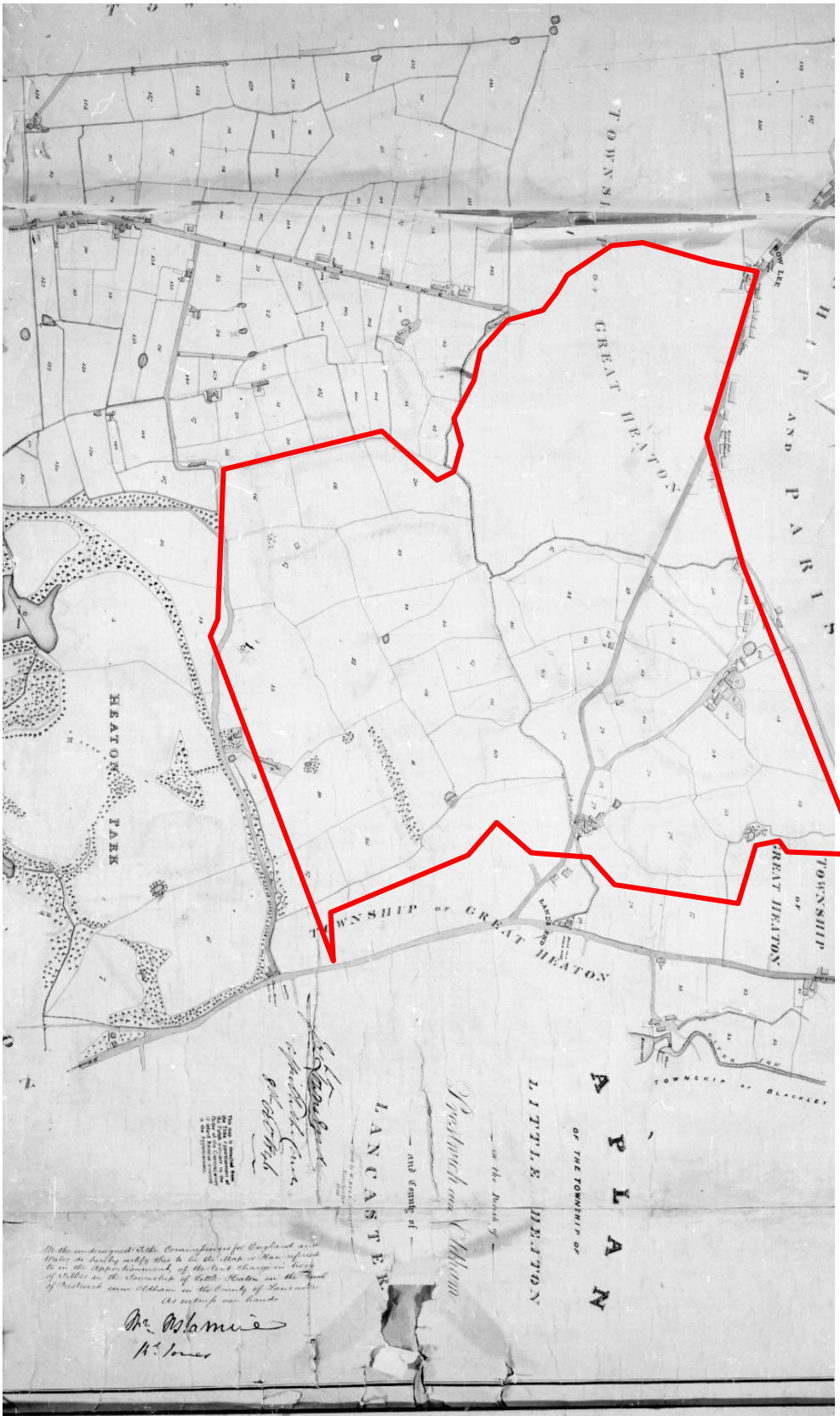


Figure 1.2 1848 Ordnance Survey (Approximate position of Site identified)



Figure 1.3 1896 Ordnance Survey (Approximate position of Site identified)



Figure 1.4 1947 (Approximate position of Site identified)

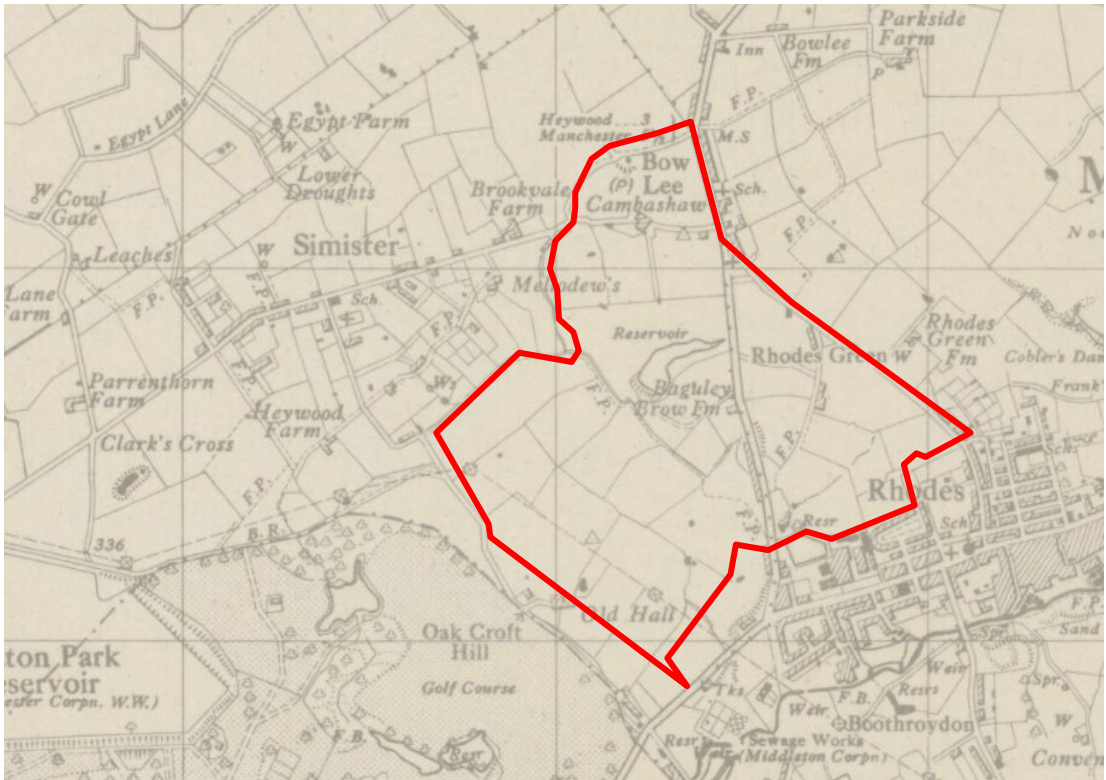


Figure 1.5 1965 Ordnance Survey (Approximate position of Site identified)

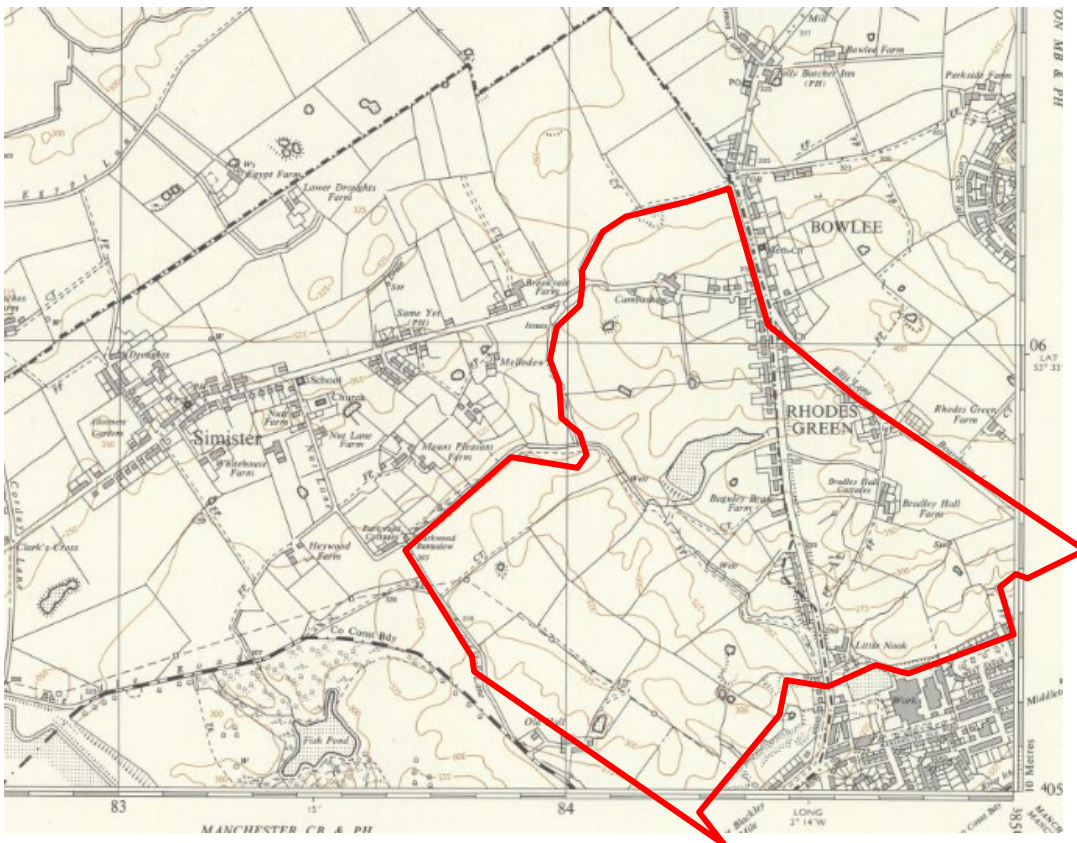


Figure 1.6 2020 Aerial (Approximate position of Site identified)



Appendix 2: Non-designated Heritage Assets

Table 1: Non designated Heritage Assets: Summary of significance

Name	Summary of Significance	Contribution of Setting
Bowlee Settlement	Settlement dating to 1786, developed during 19th and 20th centuries.	The two settlement complexes are surrounded by agricultural land which is separated into fields and largely used for grazing. The settlements are likely to have agricultural origins and therefore this setting (and therefore the Site) emphasises their historic and traditional function and connections to the surrounding landscape.
Rhodes Green Settlement	Small settlement first shown on 1786 map, little change save for some 20 th century demolition.	<p>The agricultural land surrounding these farms emphasises their historic and traditional functions and connections to the surrounding landscape. Each farmstead is experienced as part of a farm complex with various functional and ancillary buildings arranged around a farmyard which provides a group character. Later alterations and developments dating to the 20th century have altered the appreciation of the historic form and arrangement of the buildings, and their connections to the wider landscape.</p> <p>The Site is located approximately 700 m to the south of Sand Field Farm. The site forms part of its wider agricultural landscape and is visible in distant views.</p> <p>The site is located 750m to the south of Drouchts and the settlement of Simister is in the intervening landscape. There is no visual connection and no function association and the Site is not consider to make a contribution to significance.</p>
Sand Field Farm	18 th century farmstead, heavily	

	modified and only two original buildings remaining.	
Droughts	Farm and threshing barn, dating to 19 th century. Partly demolished.	
Lady Wilton School	Former school, now community centre. Built in 1850 by the Edgertons of Heaton Hall, and consisting of small brick building.	Lady Wilton School is located within the Settlement of Simister on the junction of Simister Lane and Nutt lane. It is located in a small defined plot and experienced from the road frontages. There is no visual connection between the Site and the building and no known functional connections. It is not considered that the Site makes a contribution to the significance of the school.

September 2020

RUSH3008